



Battle Creek Historic District Commission

Staff Report

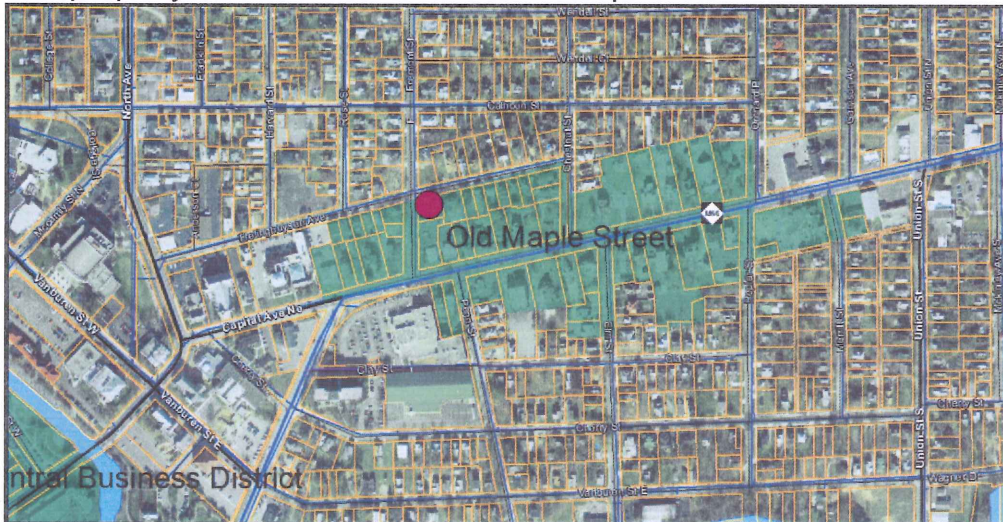
Meeting: July 13, 2015

To: Historic District Commission
From: Glenn Perian, Senior Planner
Date: July 6, 2015

Subject: The petition filed by Kim A. Tuck/KATMA Enterprises Inc. for the issuance of a Certificate of Appropriateness for restoration work that will comply with zoning and historic district commission requirements at 26 Fremont Street including in part, tree removal, roof work, chimney work, repair/replacement of windows, trim work, painting, repair/replacement of the porches, doors, and repair of the garage. A preliminary work description for the exterior of 26 Fremont Street has been submitted and the applicant is planning on attending the meeting to discuss the project with the Commission.

Site:

The property is located in the Local Old Maple Street Historic District.

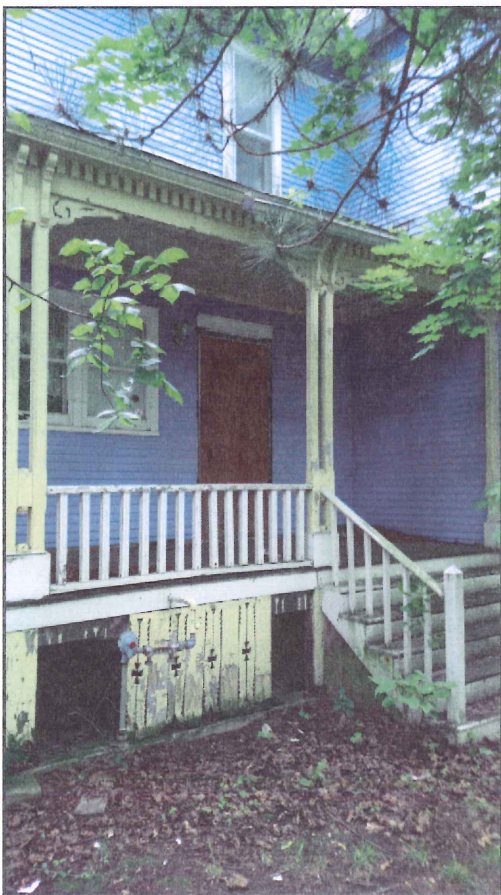


Summary of Request

The proposed project includes the rebuilding of a porch, tree removal, and various other rehabilitation work to the house and garage that will comply with zoning requirements and meet HDC approval requirements for the issuance of a Certificate of Approval on the property located at 26 Fremont Street. A complete listing of the proposed work is included in the packet of materials and the Applicant is expected to be at the meeting to discuss the project in deeper detail. Photos of 26 Fremont Street are also included.



26 Fremont porch facing Fremont street



26 Fremont side porch facing Frelinghuysen



Public Notice Requirements:

Public notice has occurred as outlined under MCL Section 399.205 Section 5 (6)...*"the business that the commission may perform shall be conducted at a public meeting of the commission held in compliance with the open meetings act, Act No. 267 of the Public Acts of 1976, as amended, being sections 15.261 of 15.275 of the Michigan Compiled Laws. Public notice of the time, date, and place of the meeting shall be given in the manner required by Act No. 267 of the Public Acts of 1976, as amended."*

Applicable HDC Guidelines and Analysis for a Certificate of Appropriateness for the rehabilitation project at 26 Fremont Street.

This property is reviewed in accordance with City of Battle Creek Building and Housing Code Chapter 1470 "Historic Preservation", as amended, the Michigan's Local Historic Districts Act, as amended, and the criteria for the National Register of Historic Places as outlined in the Secretary of the Interior's Standards and Guidelines. We would like you to remember that fences are allowed on all properties in the City and we treat them as an essential property right for all properties. It is our position that we generally recommend approval, providing the request is consistent with the property and surrounding neighborhood.

Specifically, the Commission shall follow Section 1470.09, as:

(b) *The Commission shall also consider all of the following:*

- (1) *The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area.***
 - (2) *The relationship of any architectural features of the resource to the rest of the resource and the surrounding area.***
 - (3) *The general compatibility of the design, arrangement, texture, and materials proposed to be used.***
 - (4) *Other factors, such as aesthetic value that the Commission finds relevant.***
- (c) *The Historic District Commission shall review and act upon only exterior features of a resource and shall not review and act upon interior arrangements...***

And

1470.17 PRESERVATION OF HISTORIC FEATURES.

- (a) *Every reasonable effort shall be made to provide a compatible use for a resource which requires minimal alteration of the building, structure or site and its environment, or to use the resource for its originally intended purpose.*** This project includes quite a bit of rehabilitation work to the windows, porches, garage, roof, chimneys, and foundation to a resource that has been neglected for a number of years. The intent is to make repairs to the structure in order to get it ready for a single family use.
- (b) *The distinguishing original qualities or character of a resource and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.*** We do not believe the proposal violates this standard. The proposal includes repairs where possible with the addition of a covered porch to the Fremont side of the building similar to the 1940 Willard Library photo.

- (c) ***All resources shall be recognized as products of their own time. Alterations that have no historic basis and which seek to create an earlier appearance shall be discouraged.*** We think the current building code will be a big enough hindrance in replicating an earlier appearance and the new work will be able to be distinguished from the old.
- (d) ***Changes which may have taken place in the course of time are evidence of the history and development of a resource and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.*** Staff believes this requirement is being adhered to especially in respect to work being done to the garage.
- (e) ***Distinctive stylistic features or examples of skilled craftsmanship which characterize a resource shall be treated with sensitivity.*** Staff believes every attempt is being made to preserve the distinctive styling of this home with the proposed work plan.
- (f) ***Deteriorated architectural features shall be repaired rather than replaced wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other resources.*** Staff believes that the proposal attempts to repair when possible and materials will be matched when replacement is necessary.
- (g) ***The surface cleaning of resources shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic materials shall not be undertaken.*** Staff does not believe this standard is being violated in respect to this project.
- (h) ***Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.*** Staff does not think this applies to this project.
- (i) ***Contemporary design for alterations and additions to existing resources shall not be discouraged when such alterations and additions do not destroy significant historic, architectural or cultural material and when such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.*** Staff believes that the proposed work is consistent and

compatible with the property and surrounding neighborhood and therefore acceptable for this project.

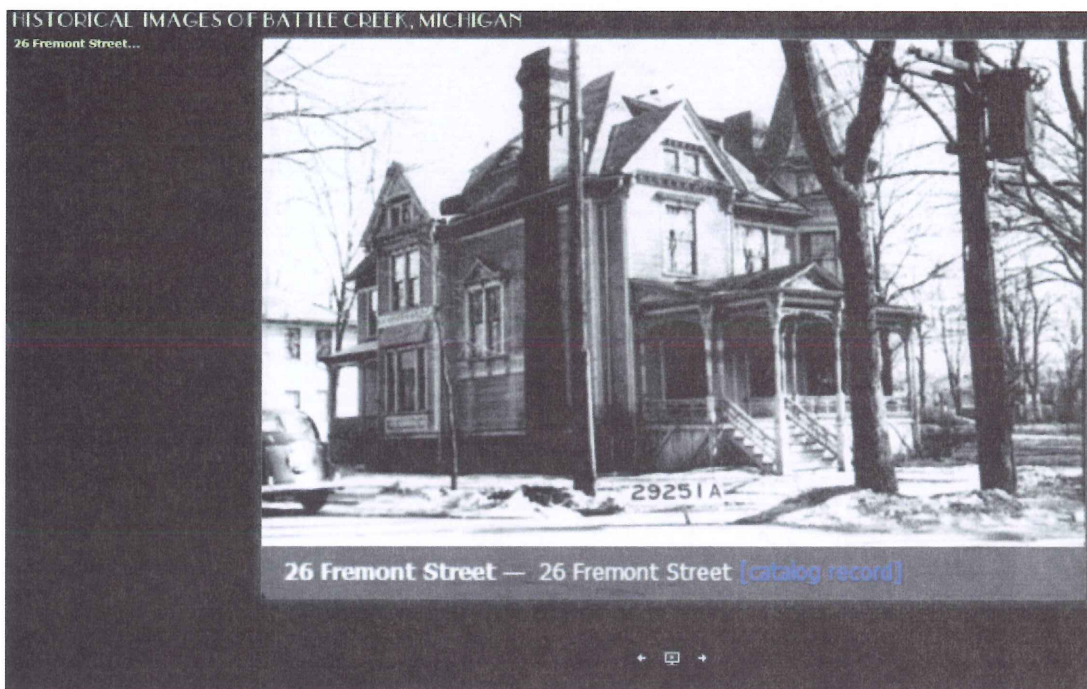
- (j) ***Whenever possible, new additions or alterations to resources shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the resource would not be unimpaired.*** Staff does not believe that any essential form or the integrity of the structure will be affected with this project.

(Ord. 14-97. Passed 8-5-97.)

Recommendation:

The proposed work for this project is quite extensive. Staff believes the proposed work complies with standards outlined in Chapter 1470 and should be approved. As contained herein, staff is not aware of any issues that the Commission might find in conflict with Chapter 1470 "Historic Preservation", the Michigan Local Historic Districts Act or the Secretary of the Interior's Standards and Guidelines.

Therefore, planning staff recommends approval of a certificate of appropriateness for the proposed work outlined in the plan submitted for 26 Fremont Street, as the request meets the standards outlined in Chapter 1470.09 "Review of Applications", Chapter 1470.17 "Preservation of Historic Features" and the Secretary of the Interior's Standards and Guidelines, as outlined in the staff report.



1940 Willard Library photo

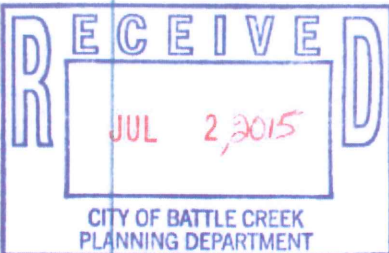


City of Battle Creek

Department of Planning and Community Development

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www.battlecreekmi.gov



HISTORIC DISTRICT COMMISSION

Application for (check all that applies)

- ☒ Certificate of Appropriateness (for repairs or rehab projects)
☐ Notice to Proceed (for demolition requests)

Petition No. # H-12-15

Date Received: 7/2/15

APPLICANT**

NAME: Kim A. Turk, rep. KATMA Enterprises Inc

ADDRESS: 2288 Beckley Rd., Battle Creek, MI 49015

PHONE: 269 979 5271 FAX: _____

EMAIL: sawmant@gmail.com

OWNER (if different from applicant)

NAME: Calhoun County

ADDRESS: 315 W. Green St., Marshall MI.

PHONE: 269-781-0730 FAX: 269-781-0720

EMAIL: _____

**If the applicant is not the property owner, a letter signed by the owner agreeing to the application to the Historic District Commission must be included with the application.

SUBMITTAL REQUIREMENTS/EXISTING CONDITIONS

Address(es) of property for which the request is being sought: 26 Fremont St.

Current use of the property: Vacant residential

List existing structures on the property and the approximate age of each. _____

House constructed 1895

Garage appears to have been built in 1950's
style of construction

Please list all activities/proposed work for the property area and how the proposed work relates to the building as a whole.

Restore or replace damaged exterior elements with
like materials and scrape and paint all siding and trim
Construct a new front porch similar in style and shape at 1940
historic photo using new material.
Install a new roof covering, restore windows, and rebuild chimney tops.

Indicate in which manner the proposed work will result in changes to the size and/or appearance of the features outlined in this application.

The new front porch will return the front facade to a similar style and appearance as shown in the 1940's picture

Does the work proposed include maintenance/repair of existing features of the structure, or will it create new features that do not currently exist?

Work will restore all existing features. The new front porch will have a higher guard system to comply with current codes.

Please indicate the existing building materials of the following structural features and the proposed materials if that feature is included as part of the application.

	Existing Materials	Proposed Materials (if applicable)
Roof	<u>Asphalt Lock Shingles</u>	<u>Architectural Asphalt Shingles</u>
Windows	<u>Vinyl and wood</u>	<u>Repair or replace with like materials</u>
Siding	<u>Wood lap siding</u>	<u>scrape and paint original</u>
Foundation	<u>cut field stone & cement block</u>	<u>Maintain original</u>
Other		

For Notice To Proceed requests only:

What options have you explored for the repair or relocation of the structure proposed for demolition?

SUBMITTAL REQUIREMENTS

As outlined in "HDC, Information and Procedure", each request requires supplementary items that thoroughly describe the existing structure and proposed project. These items are to be submitted with the completed application; incomplete applications will not be forwarded to the Historic District Commission.

APPLICANT SIGNATURE

By signing this application, the applicant hereby declares that all answers given herein are true to the best of their knowledge, and confirms that all information required for Historic District Commission review has been submitted. Furthermore, the applicant confirms that they have thoroughly read the "Historic District Commission, Information and Procedures" and agrees to comply with all requirements and procedures outlined therein.

Name

Lin A. Turk

Date

7-1-15

Preliminary Work Description for Exterior of 26 Fremont

Exterior:

Remove trees and grind stumps as indicated on site plan.

Re-lay the cut stone at the south west corner of the front entry foundation area and tuck point all damaged/missing mortar joints in the exposed stone foundation walls.

Remove the roof coverings, prepare roof deck for the installation of architectural shingles; install ice and water shield from eave edge to a point two feet inside the exterior walls. Install new underlayment, drip edge and architectural shingles in a color as specified in finish schedule.

Note: Lead safe work practices shall be used when working with all painted surfaces as outlined in the lead assessment.

Repair or replace deteriorated or missing window sills and trim, include all basement window openings.

Restore all wood double hung windows to operational condition or replace damaged sash with new wood sash, prime and paint as specified in the finish schedule.

Repair or replace all damaged or deteriorated fixed window sash; prime and paint in colors as specified in finish schedule.

Repair or replace deteriorated trim and moldings in all gable areas, roof dormers, eyebrow windows, window treatments, and siding areas.

Remove all peeling paint from siding, soffit and trim details, prime and paint all surfaces with colors specified in finish schedule.

Replace deteriorated metal covering on curved window treatment on the south side of the house.

Remove the existing front porch and install a new covered porch as indicated on plans included below.

Repair or replace the deteriorated skirt boards on the north porch; install a treated two by four attachment rail on the concrete using approved concrete anchors and replace any missing boards with replicas of the original skirt boards. Prime and paint in colors as specified in the finish schedule.

Replace the damaged steel entry doors on the north and south entries with units and hardware as specified in the door schedule.

Resurface and refit the double front entry doors and refinish as specified in the finish schedule.

Dismantle the top eight feet of the north chimney and re-lay in the same pattern as the original and cap using approved masonry methods. Tuck point the chimney on the south side and replace the missing top section to match the north chimney top. Flash and counter-flash both chimneys at the intersection of the new roof coverings.

Garage:

Remove and replace the damaged/deteriorated siding on the south side of the garage and install new vinyl siding and soffit system complete with trims in colors specified in the finish schedule. Repair or replace widow sash and paint as specified in the finish schedule.

BATTLE CREEK, MICHIGAN





